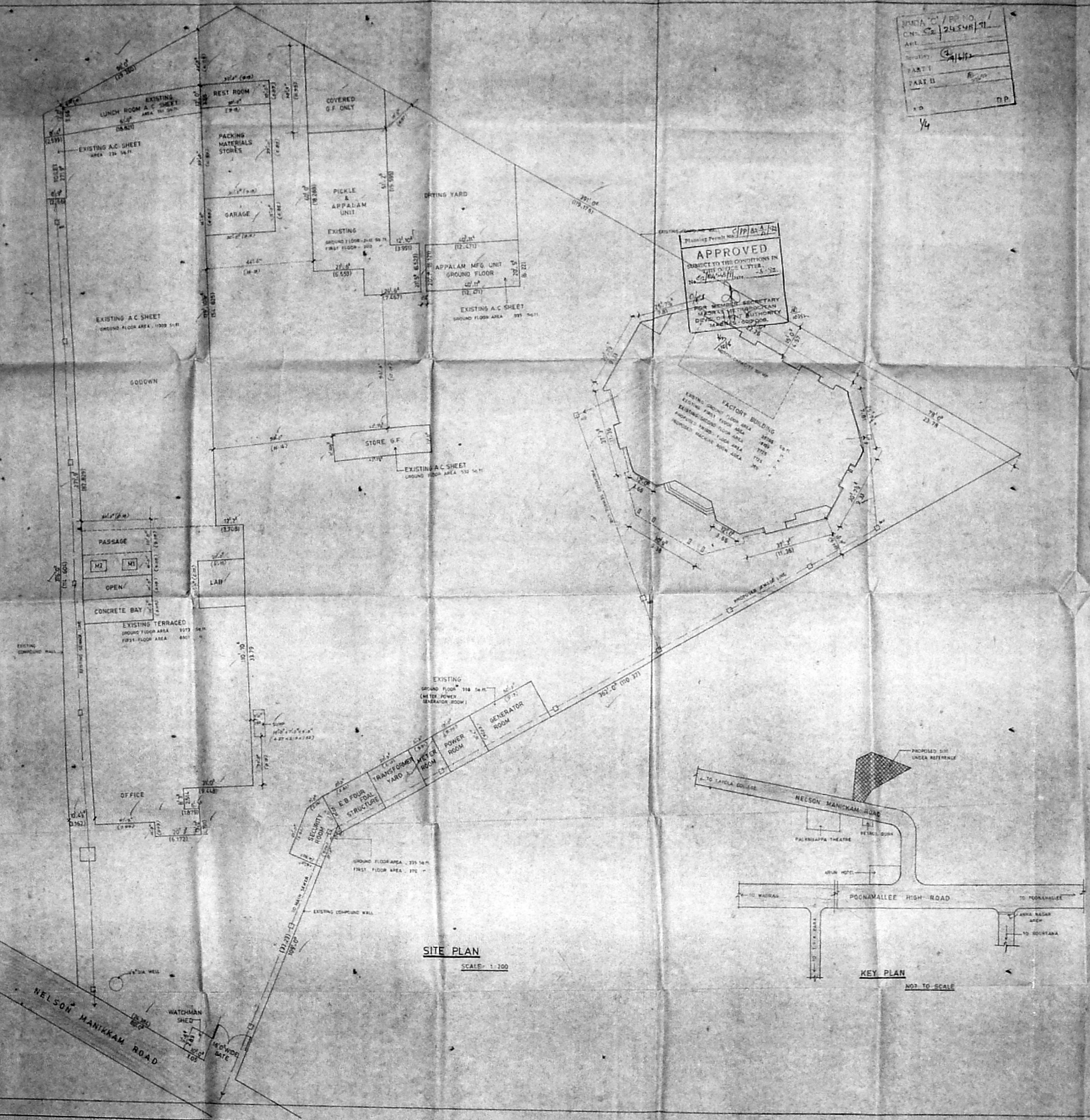


150
102X83

APPROVED
C/11/24/191/71
ART. 24
PART I
PART II
D.P.

APPROVED
SUBJECT TO THE CONDITIONS IN
THE OFFICE LITERS.
No. C/11/24/191/71 Date 2-3-72
FOR MEMBER SECRETARY
MADRAS MUNICIPAL CORPORATION
MADRAS 600 009



AREA STATEMENT

Total plot area	
EXISTING BUILDING AREA	
ground floor	25263 Sq.M
first floor	18179 Sq.M
second floor	7725 "
total	51167 "
PROPOSED BUILDING AREA	
ground floor	—
first floor	—
second floor	—
third floor	7735 Sq.M
Machine room	365 Sq.M
Total area existing & proposed	59267 Sq.M

BE C/11/24/191
Industrial Building Area 48198 Sq.M
Area 13015
Total Area 61213

PROPOSED ADDITIONAL FACTORY BUILDING for M/S. P. MITTAL LAUL LALAH & SONS
54, 54/55th, Madras 600 029
Amin Nagar, Madras 600 029

COLOUR INDEX

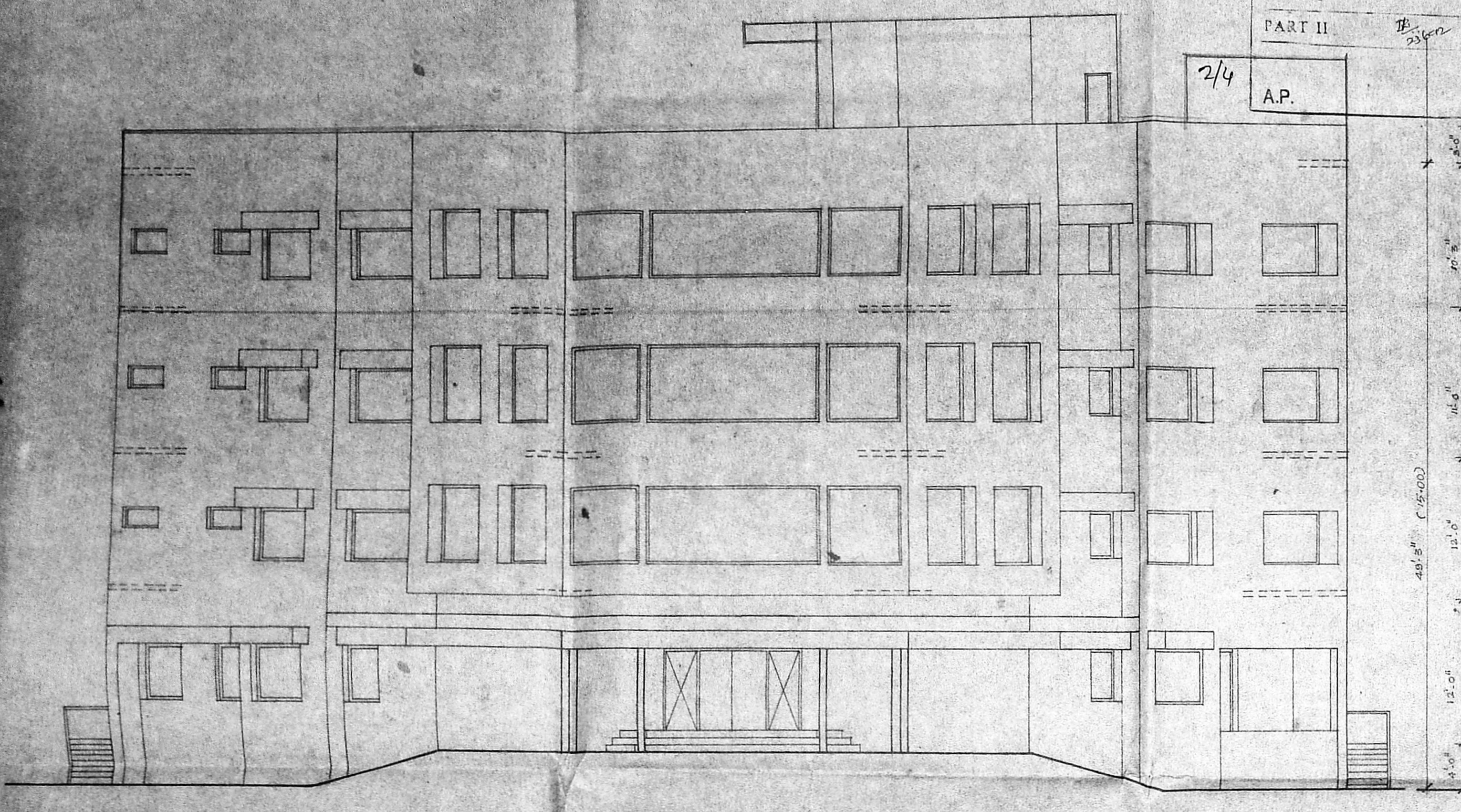
PROPOSED COLOURED THUS	█
EXISTING COLOURED THUS	█
ROAD COLOURED THUS	█
BOUNDARY COLOURED THUS	█

ARCHITECTS
meeran abdu samad & ARUN M. CA
COUNCIL OF ARCHITECTURE A.I.C.
C.A. NO. 51/25, RA 48
7, PARK ROAD WEST,
SHELDON NAGAR,
MADRAS 600 009.

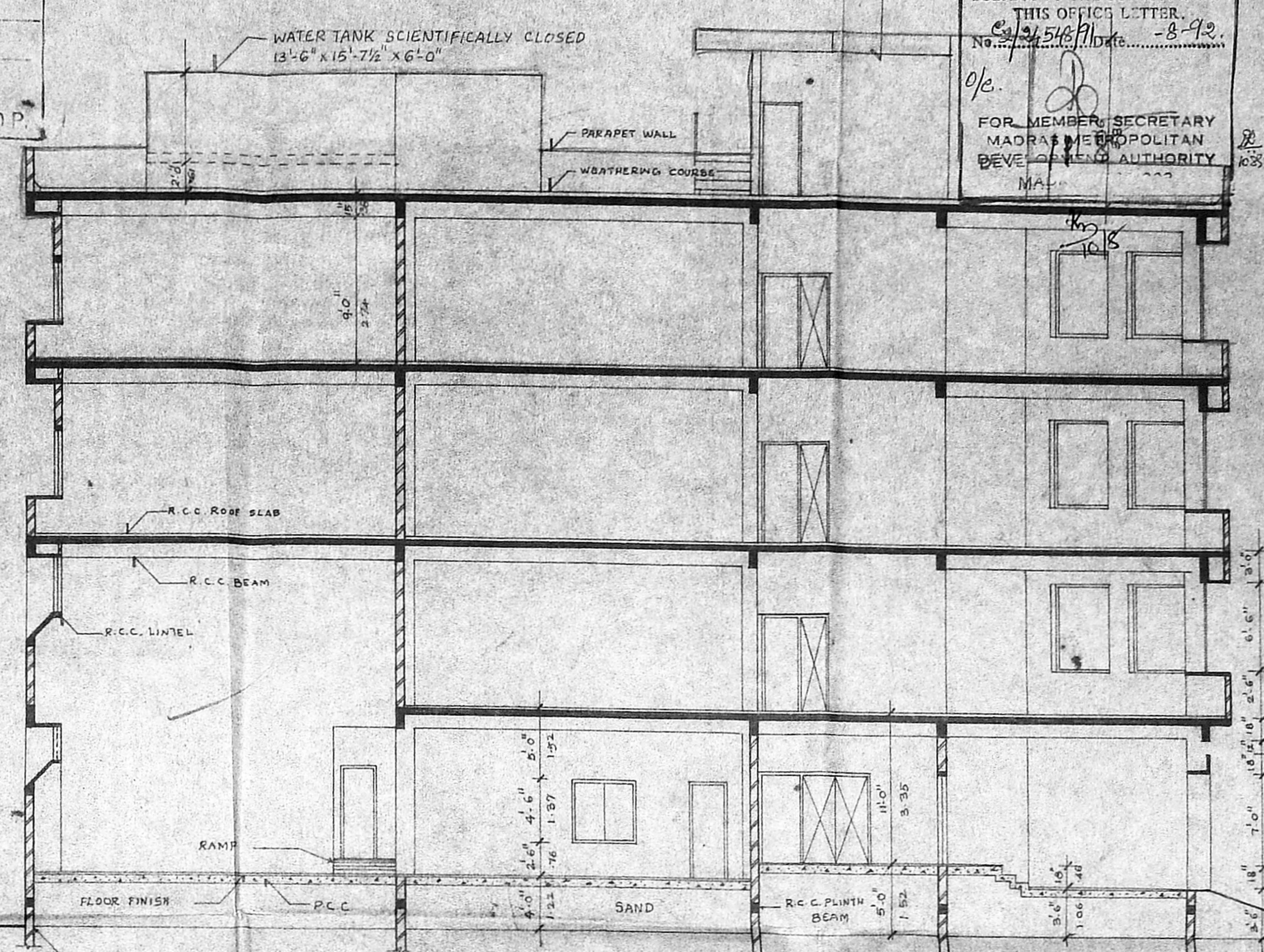
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MMDA C/P/210
 C.N. 24548/51
 Act.
 Scrutiny: 2/4
 PART I
 PART II

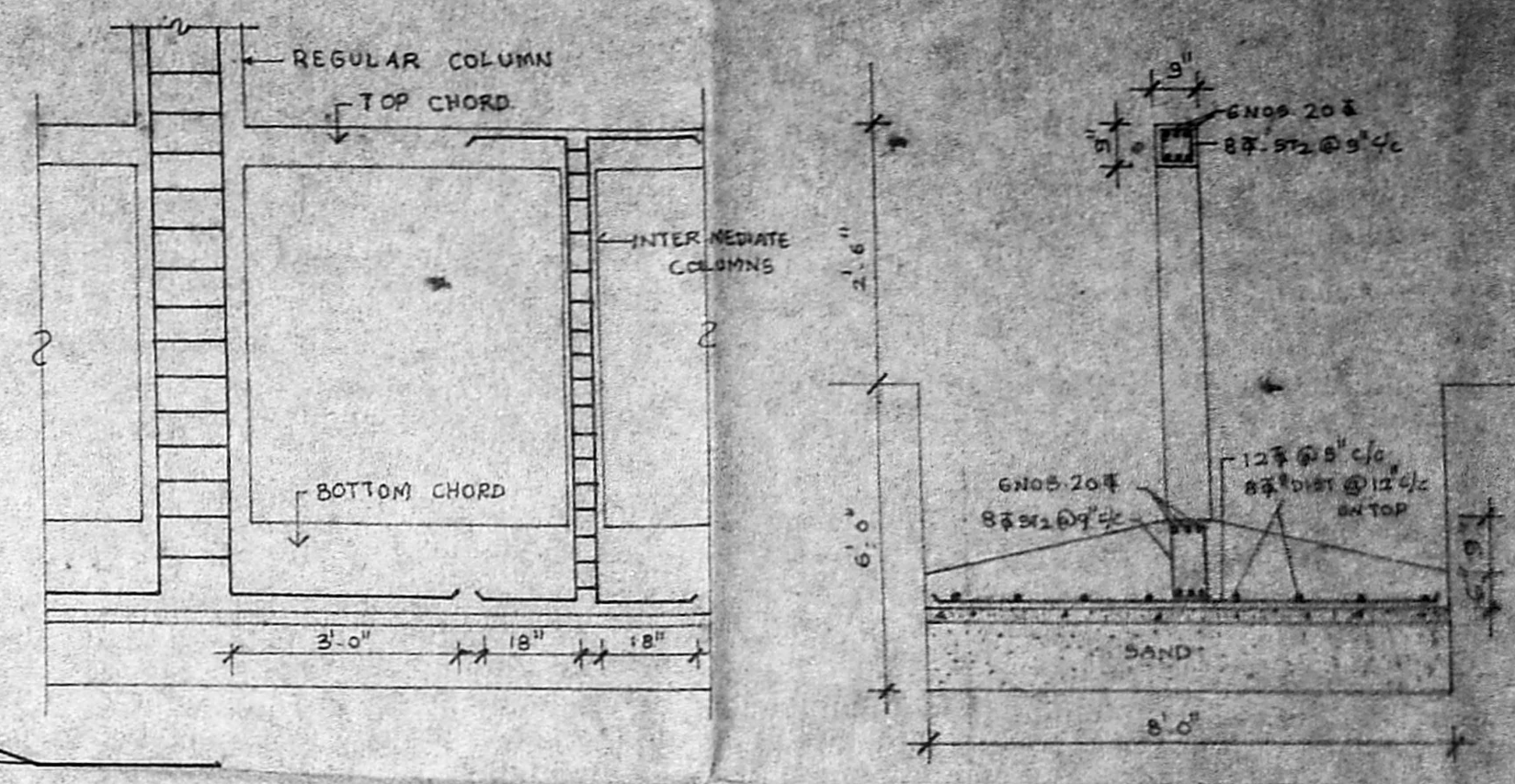
Planning Permit No. 111/2003
APPROVED
 SUBJECT TO THE CONDITIONS IN THIS OFFICIAL LETTER
 No. 24548/51 dt. 8-9-92
 0/6
 FOR MEMBER SECRETARY
 MADRAS METROPOLITAN
 DEVELOPMENT AUTHORITY



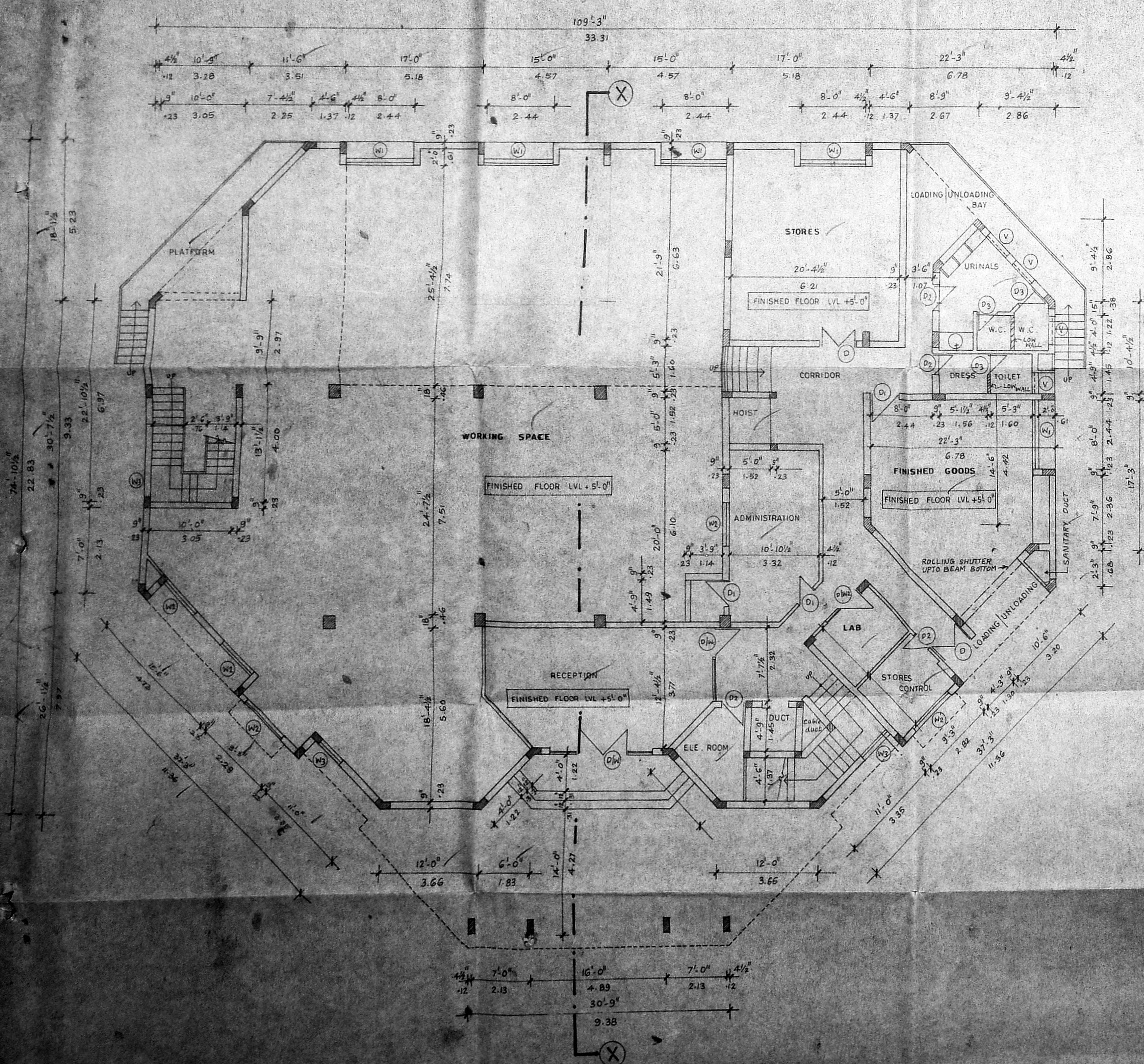
FRONT ELEVATION



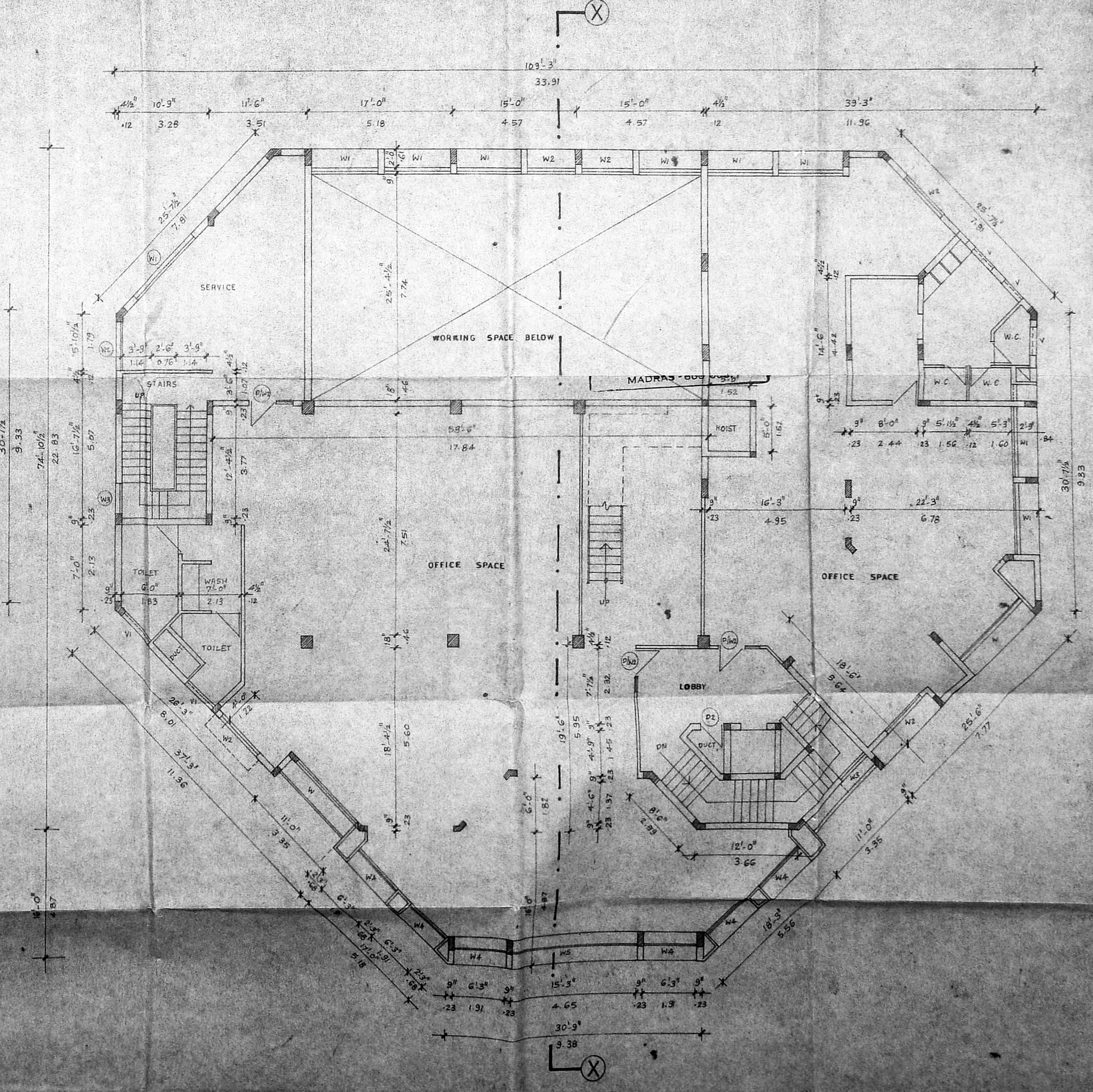
SECTION ON 'XX'



FOUNDATION DETAILS



GROUND FLOOR PLAN



FIRST FLOOR PLAN

SCHEDULE OF JOINERY		
TYPE	SIZE	DESCRIPTION
DW	14'6" x 7'0"	ALUMINIUM DOOR, CORR. DR. WINDOW
DW	2'11" x 7'0"	DO
DW	0'6" x 7'0"	DO
D	5'0" x 7'0"	TEAK WOOD PANNELLED DOOR
D	4'0" x 7'0"	DO
D	4'0" x 7'0"	DO
D	2'0" x 7'0"	DO
W	1'3" x 4'11"	ALUMINIUM SLIDING WINDOW
W	4'0" x 4'0"	DO (SHAZED)
W	1'0" x 4'0"	DO
W	1'0" x 4'0"	DO
W	1'0" x 4'0"	DO
V	2'0" x 2'0"	TWO GRADED VENTILATOR
V	2'0" x 2'0"	DO

- SPECIFICATIONS**
1. R.C.C. COLUMN FOUNDATION
 2. SAND FILLING IN BASEMENT
 3. P.C.C. 1:4:8 IN FLOORING
 4. MOSAIC FLOORING IN CM 1:3
 5. BRICK WORK IN CM 1:3 IN BASEMENT
 6. R.C.C. ROOF SLABS, LINTELS, BEAMS ETC. TO BE 1:2:4 R.C.C.
 7. WEATHERING IN CM 1:3
 8. WEATHERING COURSE WITH BECH JELLY IN CM WITH TWO COURSES OF FLAT TILES Laid TO SLOPE.
 9. ALL WOOD WORKS ARE IN TEAK WOOD
 10. TWO COATS OF PAINTING OVER 100% OF PRIMER
 11. TWO COATS OF COLOUR OR WHITE WASHING.

PROPOSED FACTORY BUILDING FOR MIS. P. MITTULAU LALAH AND SONS, AT No. 54, NELSON MANIKAM ROAD, AMINJIKARAI, MADRAS - 600 029.

AREA STATEMENT:

existing area	22000 sq.ft. 2042.80 sq.mts
proposed area	2725 sq.ft. 253.46 sq.mts
machine room	385 sq.ft. 35.77 sq.mts
total	30110 sq.ft. 2797.22 sq.mts

COLOUR INDEX

PROPOSED ROAD: [Symbol]

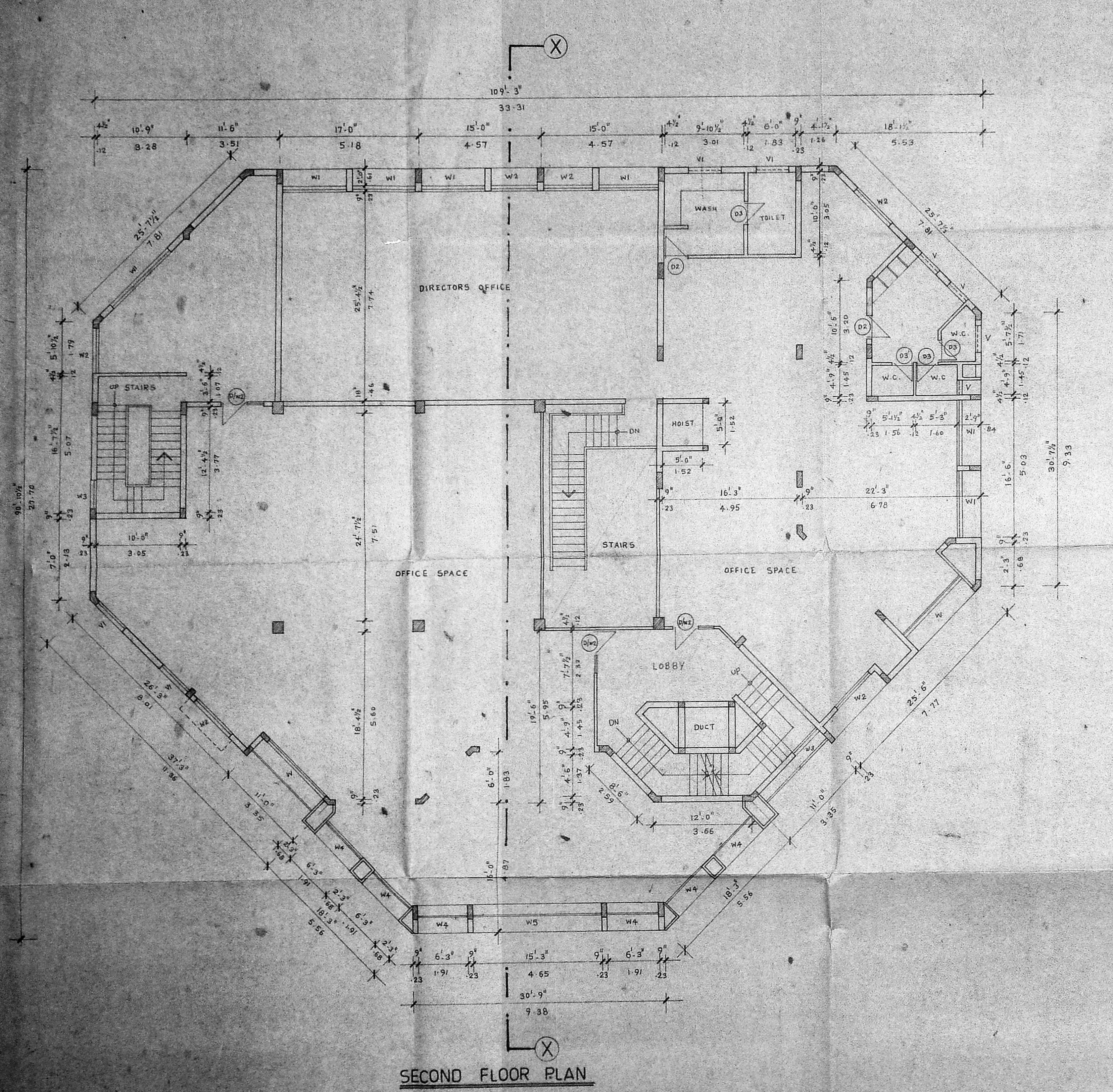
BOUNDRY: [Symbol]

EXISTING: [Symbol]

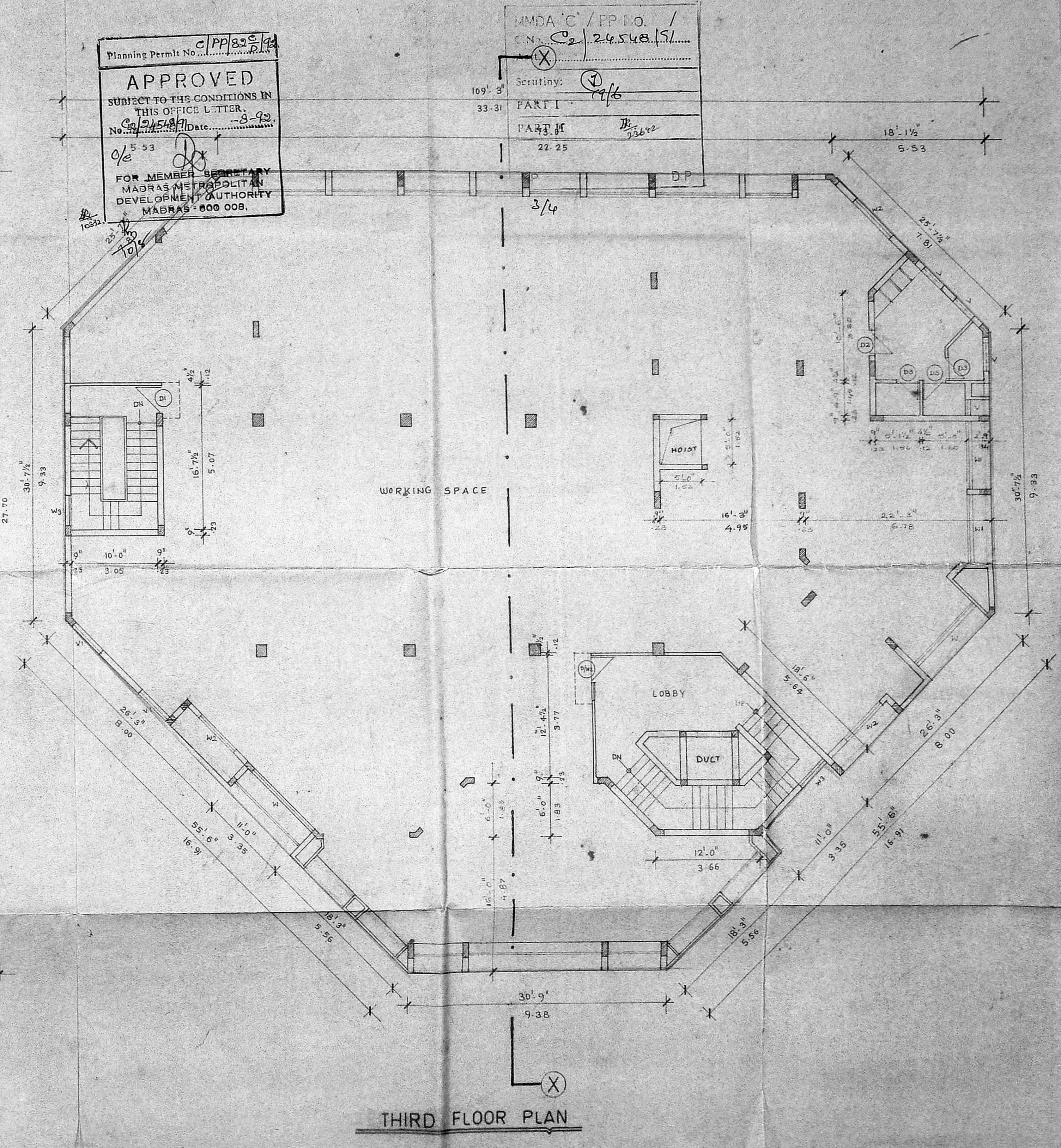
FOR P. MITTULAU LALAH & SONS.
 OWNERS' SIGNATURE: [Signature]

SCALE: 1:100 DRAWN

ARCHITECTS: *meeran abdu samad*
 COUNCIL OF ARCHITECTURE
 C.A. No. 84/8275, RA. 48,
 THIRUPARK ROAD WEST
 SHENDY NAGAR
 MADRAS - 600 030



SECOND FLOOR PLAN



THIRD FLOOR PLAN

Planning Permit No. CP/255/12
APPROVED
 SUBJECT TO THE CONDITIONS IN
 THIS OFFICE LETTER.
 No. 24548/15/ Date: 8-9-53
 5-53
 FOR MEMBER SECRETARY
 MADRAS METROPOLITAN
 DEVELOPMENT AUTHORITY
 MADRAS - 600 008.

MMDA 'C' / PP NO. 1
 C.N. 24548/15/
 Scrutiny: 9/6
 PART I
 PART II 22-25
3/4

PROPOSED FACTORY BUILDING
 FOR M/S. P. MITTULAL LALAH
 AND SONS, AT NO. 54, NELSON
 MANIKAM ROAD, AMINJIKARAI,
 MADRAS - 600 029.

COLOUR INDEX:
 PROPOSED ROAD
 BOUNDARY
 EXISTING

P. MITTULAL LALAH & SONS.
 PARTNER
 OWNER'S SIGNATURE

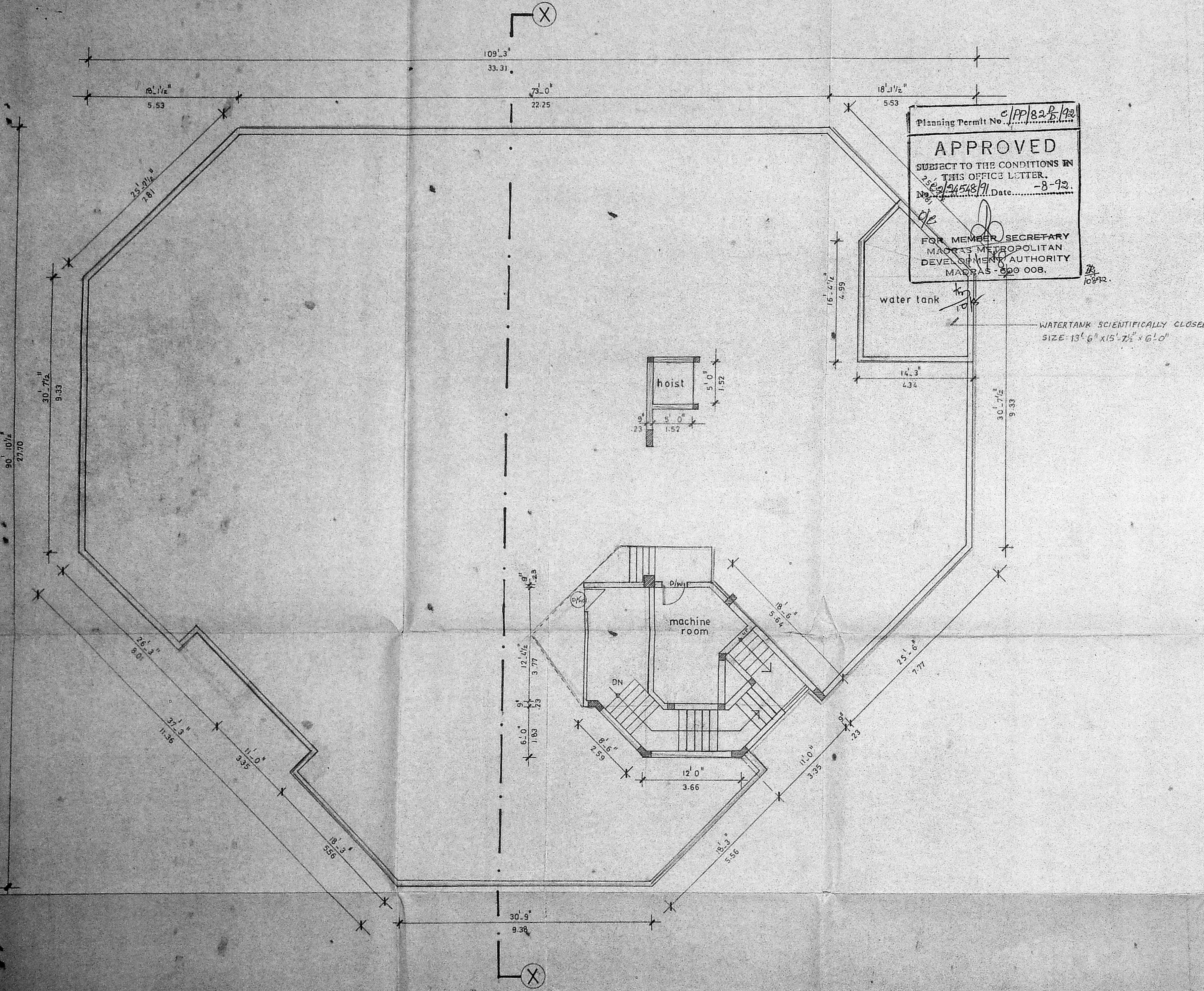
SCALE: 1:100 DRAWN: Gnanavel

ARCHITECT:
 meeran abdu samad B. Arch. M.C.A.
 COUNCIL OF ARCHITECTURE
 C. A. No. 84/8275
 17, PARK ROAD WEST
 SHENOY NAGAR
 MADRAS - 600 030.

Planning Permit No. C/PP/82/5/123
APPROVED
 SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER.
 No. 245/87 Date 8-92
 FOR MEMBER SECRETARY
 MADRAS METROPOLITAN
 DEVELOPMENT AUTHORITY
 MADRAS - 600 008.

MMDA 'C' / PP NO. /
 C.No. C2/24548/51
 Asst. _____
 Secy: 9/6/52
 PART I _____
 PART II 25/92

4/4 Rpd 70592



TERRACE FLOOR PLAN

PROPOSED FACTORY BUILDING
 FOR M/S.P.MITTULAL LALAH
 AND SONS, AT NO. 54, NELSON
 MANIKAM ROAD AMINJIKARAI,
 MADRAS - 600 029.

COLOUR INDEX

proposed	
boundary	
road	
existing	

N
 M/S. MITTULAL LALAH & SONS
M. Mananadiah
 PARTNER
 OWNER'S SIGNATURE

SCALE: 1:100 DRAWN: Sheet 1

ARCHITECTS: *Mr. Samad*
 meeran abdu samad
 COUNCIL OF ARCHITECTURE
 C.A. NO: 84/8275 RA-48
 17 PARK ROAD WEST
 SHENOY NAGAR
 MADRAS 600 030.